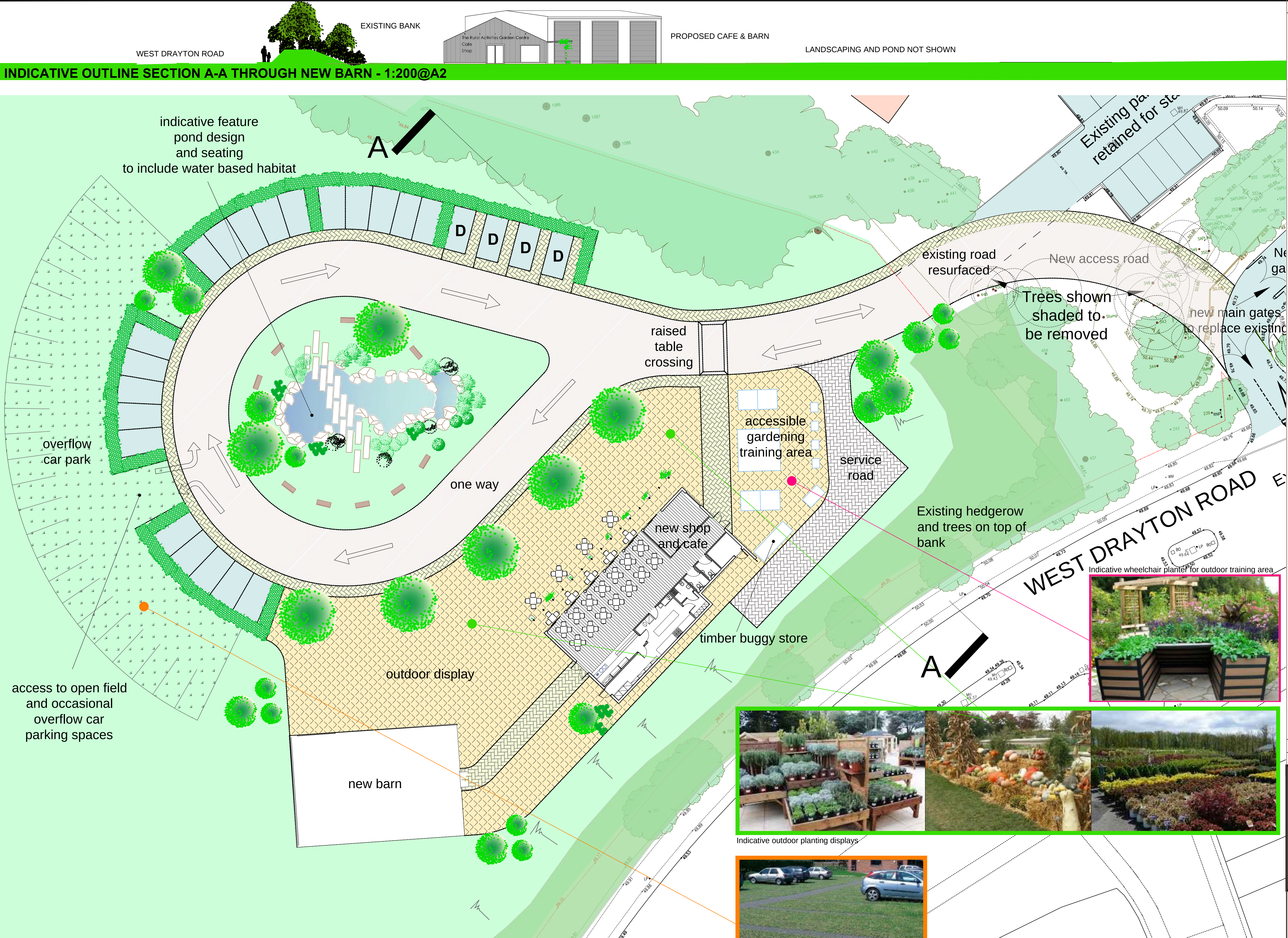




NOTES

The Contractor must verify all dimensions at the site before setting out, commencing work, or making any shop drawings. Any discrepancies must be reported to the Contract Administrator before proceeding.

DO NOT SCALE FROM THIS DRAWING

- DESIGN PROPOSAL
- 1 AGRICULTURAL BARN**  
18m x 12m GIFA 203.7m<sup>2</sup> with clear headroom of 4.5 average. Single storey simple steel structure with shallow dual pitched roof at 10 degrees. Open space to house agricultural vehicles and machinery. External display space is provided.
  - 2 CAFE AND SHOP.**  
GIFA = approx 209.2m<sup>2</sup>. Single storey building to accommodate 60 seating capacity cafe with semi-commercial kitchen facilities including toilets and bigger shop area. Cafe will have outdoor seating area with retractable awning.
  - 3 EXISTING CAFE BUILDING.**  
Convert to form training classrooms. 67m<sup>2</sup>
  - 4 EXISTING SHOP.**  
Convert to form staff offices. 27m<sup>2</sup>
  - 5 NEW PARKING**  
**Total 50 spaces**  
All parking spaces will be to London Plan requirements.  
25 spaces will be formally constructed with associated service road. 25+ informal overflow parking constructed in combination of grass and gravel finish.  
The proposal retains the existing vehicular access but widened and improved to serve increase in number of vehicles and emergency appliances and occasional access for articulated lorries.  
Existing car parking spaces to be designated for staff use only.

|     |                 |          |          |
|-----|-----------------|----------|----------|
| A   | Layout revised. | DB       | 06.11.19 |
| Rev | Revision notes  | Initials | Date     |



**HILLINGDON**  
LONDON

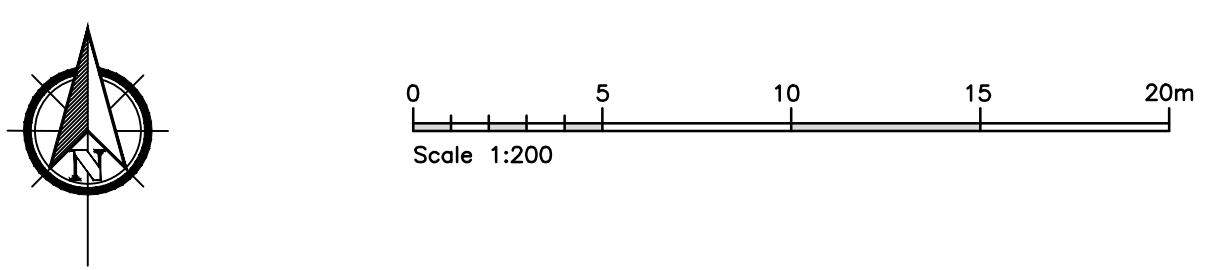
RESIDENTS SERVICES  
CAPITAL PROGRAMME & PLANNED WORKS  
2E/10, CIVIC CENTRE, UXBRIDGE, UB8 1UW  
Tel: 01895 250 111 Fax: 01895 277 224

PROJECT  
RURAL ACTIVITIES AND GARDEN CENTRE,  
WEST DRAYTON ROAD,  
UXBRIDGE, UB8 3LG

DESCRIPTION  
PROPOSED SITE PLAN 1 of 2

|                     |                |                  |                  |
|---------------------|----------------|------------------|------------------|
| SCALE<br>1:200 @ A1 | DRAWN BY<br>DB | CHECKED BY<br>SV | DATE<br>AUG 2019 |
|---------------------|----------------|------------------|------------------|

|                               |           |
|-------------------------------|-----------|
| DRAWING No.<br>2019/D287/P/03 | REV.<br>A |
|-------------------------------|-----------|



Overflow carpark in proprietary concrete grid /grass material



NOTES

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DO NOT SCALE FROM THIS DRAWING

DESIGN PROPOSAL

**1 AGRICULTURAL BARN**

18m x 12m GIFA 203.7m<sup>2</sup> with clear headroom of 4.5 average. Single storey simple steel structure with shallow dual pitched roof at 10 degrees. Open space to house agricultural vehicles and machinery. External display space is provided.

**2 CAFE AND SHOP.**

GIFA = approx 209.2m<sup>2</sup>. Single storey building to accommodate 60 seating capacity cafe with semi-commercial kitchen facilities including toilets and bigger shop area. Cafe will have outdoor seating area with retractable awning.

**3 EXISTING CAFE BUILDING.**

Convert to form training classrooms. 67m<sup>2</sup>

**4 EXISTING SHOP.**

Convert to form staff offices. 27m<sup>2</sup>

**5 NEW PARKING**

**Total 60 spaces**

All new car parking is to comply with London Plan requirements. 25 spaces will be formally constructed with associated service road. 25+ informal overflow parking constructed in combination of grass and gravel finish.

The proposal retains the existing vehicular access but widened and improved to serve increase in number of vehicles and emergency appliances and occasional access for articulated lorries.

Existing car parking spaces to be designated for staff use only.

|     |                                                   |          |          |
|-----|---------------------------------------------------|----------|----------|
| A   | Proposed entrance layout redesigned, key updated. | DB       | 11-11-19 |
| Rev | Revision notes                                    | Initials | Date     |

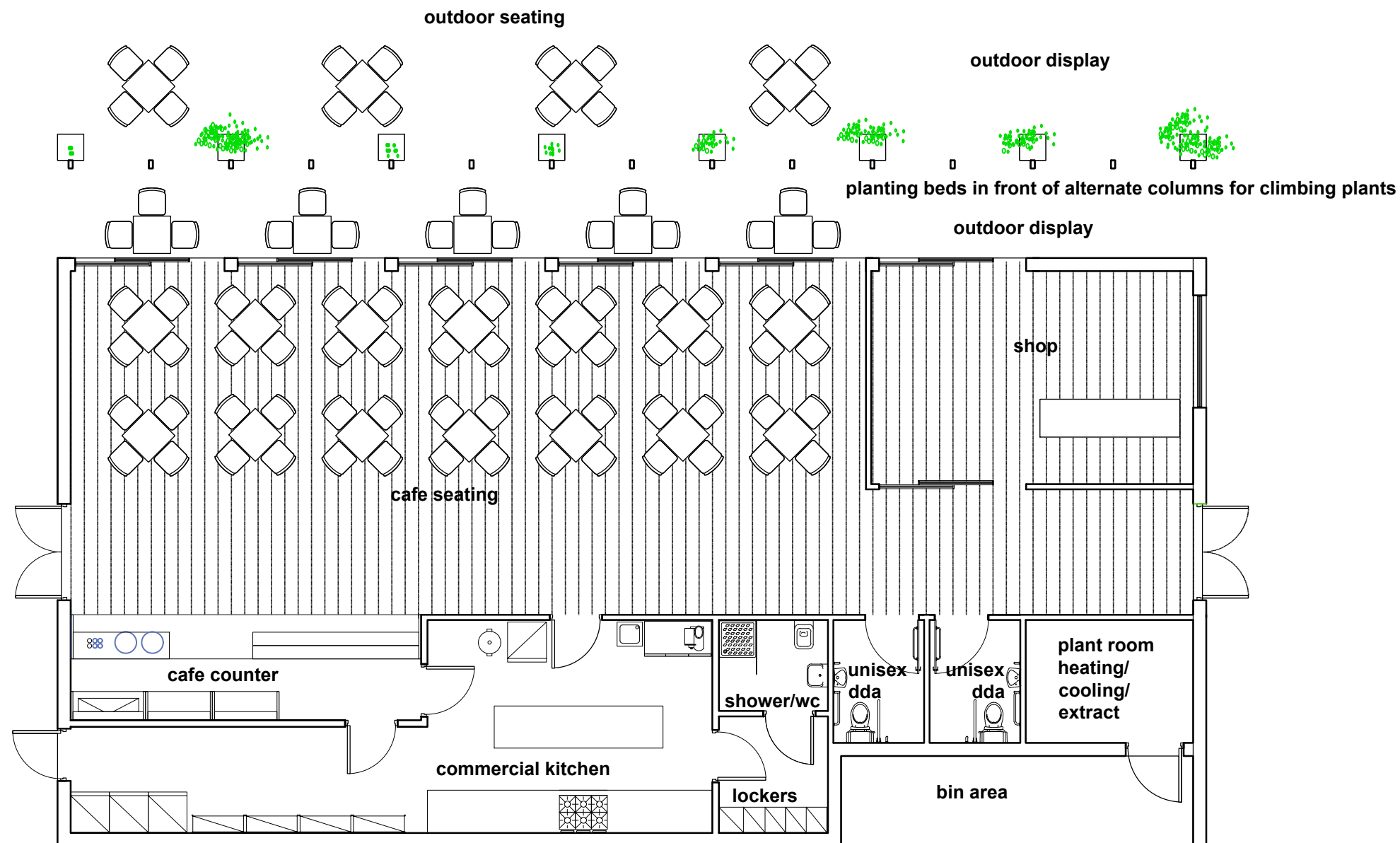


RESIDENTS SERVICES  
CAPITAL PROGRAMME & PLANNED WORKS  
2E/10, CIVIC CENTRE, UXBRIDGE, UB8 1UW  
Tel: 01895 250 111 Fax: 01895 277 224

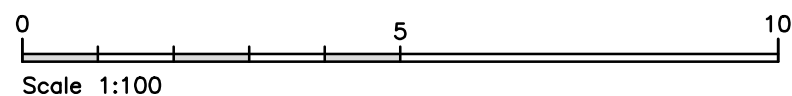
PROJECT  
RURAL ACTIVITIES AND GARDEN CENTRE,  
WEST DRAYTON ROAD,  
UXBRIDGE, UB8 3LG

DESCRIPTION  
PROPOSED SITE PLAN 2 of 2

|                               |                |                  |                  |
|-------------------------------|----------------|------------------|------------------|
| SCALE<br>1:200 @ A1           | DRAWN BY<br>DB | CHECKED BY<br>SV | DATE<br>AUG 2019 |
| DRAWING No.<br>2019/D287/P/04 |                |                  | REV.<br>A        |



service road - refer to dwg 2019/D/287/P03



NOTES

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DO NOT SCALE FROM THIS DRAWING

|     |                                   |          |          |
|-----|-----------------------------------|----------|----------|
| A   | Design mirrored due to re-siting. | db       | 06-11-19 |
| Rev | Revision notes                    | Initials | Date     |



RESIDENTS SERVICES, CAPITAL PROGRAMME  
2E/10, CIVIC CENTRE, UXBIDGE, UB8 1UW  
Tel: 01895 250 111  
Fax: 01895 277 224

PROJECT  
RURAL ACTIVITIES AND GARDEN CENTRE,  
WEST DRAYTON ROAD,  
UXBRIDGE, UB8 3LG.

DESCRIPTION  
PROPOSED CAFE PLAN

|                   |                |            |                  |
|-------------------|----------------|------------|------------------|
| SCALE<br>1:100@A3 | DRAWN BY<br>DB | CHECKED BY | DATE<br>AUG 2019 |
| DRAWING No.       |                | REV.       |                  |

2019/D287/P/05 A

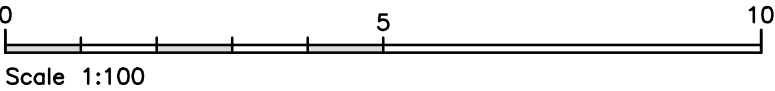
Indicative tree line in distance

NORTH ELEVATION

MATERIAL KEYS:

- (1) black stained horizontal cal cladding in 25mm thick larch, fixed with large headed stainless steel screws into pre-drilled 2mm oversize holes to allow for any movement. an uniformly fixed to agreed lbh pattern
- (2) anthracite grey slim line aluminum double safety glazed sliding door and fixed panel both with dot manifestation
- (3) black stained timber column with high quality architectural brushed steel/ stainless steel timber shoe and head bracket steel.
- (4) black stained timber beam with unstained larch cross battens as shown to act as louvre/planting arbor with 1.5m wide x 2.2m long 12mm thick glazing panel on sub frame over to form canopy (drains into gutter).
- (5) plantng bed at base of column to be planted with climbing plants by ragc
- (6) standing seam zinc roof on exposed oak timber truss centralised on main axis
- (7) ppc aluminum door
- (8) velfac rooflights / similar or better

SOUTH ELEVATION



NOTES

The Contractor must verify all dimensions at the site before setting out, commencing work, or making any shop drawings. Any discrepancies must be reported to the Contract Administrator before proceeding.

DO NOT SCALE FROM THIS DRAWING

|     |                                       |          |          |
|-----|---------------------------------------|----------|----------|
| A   | Elevations mirrored due to re-siting. | db       | 06-11-19 |
| Rev | Revision notes                        | Initials | Date     |



**HILLINGDON**  
LONDON

RESIDENTS SERVICES, CAPITAL PROGRAMME  
2E/10, CIVIC CENTRE, UXBRIDGE, UB8 1UW  
Tel: 01895 250 111  
Fax: 01895 277 224

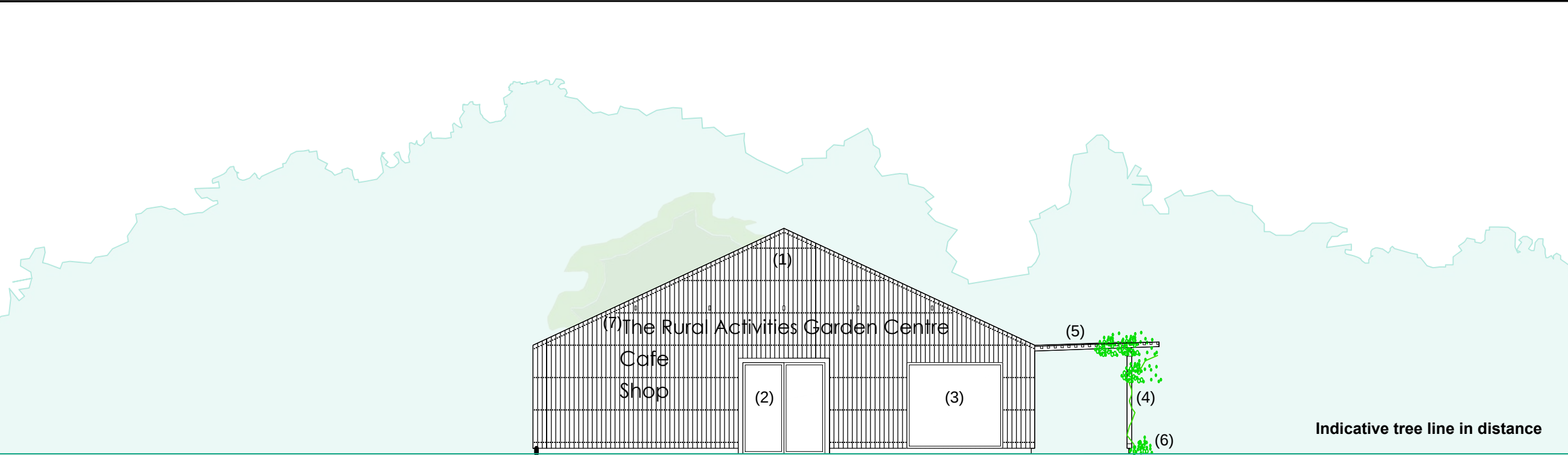
PROJECT  
RURAL ACTIVITIES AND GARDEN CENTRE,  
WEST DRAYTON ROAD,  
UXBRIDGE, UB8 3LG.

DESCRIPTION  
PROPOSED CAFE LONG ELEVATIONS

|                   |                |            |                  |
|-------------------|----------------|------------|------------------|
| SCALE<br>1:100@A3 | DRAWN BY<br>DB | CHECKED BY | DATE<br>AUG 2019 |
| DRAWING No.       |                | REV.       |                  |

2019/D287/P/07

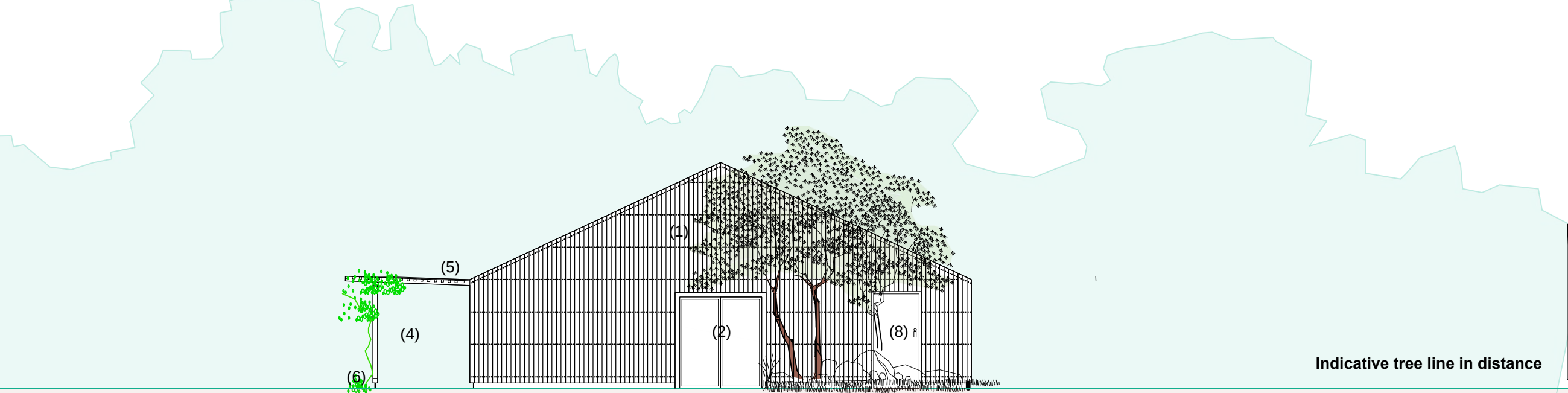
A



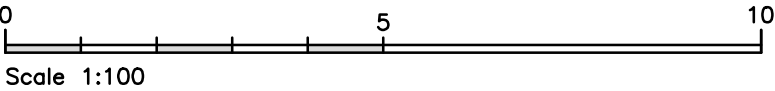
EAST ELEVATION

**MATERIAL KEYS:**

- (1) black stained vertical cladding in 25mm thick larch, fixed with large headed stainless steel screws into pre-drilled 2mm oversize holes to allow for any movement. an uniformly fixED to agreed lbh pattern
- (2) anthracite grey aluminum double glazed safety glass automatic doors with dot manifestation
- (3) anthracite grey aluminum double glazed safety glass automatic fixed light window with dot manifestation.
- (4) black stained timber column with high quality architectural brushed steel/ stainless steel timber shoe and head bracket steel.
- (5) black stained timber beam with unstained larch cross battens as shown to act as louvre/planting arbor with 1.5m wide x 2.2m long 12mm thick glazing panel on sub frame over to form canopy (drains into gutter).
- (6) planting bed at base of column to be planted with climbing plants by ragc
- (7) ppc aluminum signage with overhead bar lighting
- (8) ppc anthracite grey aluminum door



WEST ELEVATION



NOTES

The Contractor must verify all dimensions at the site before setting out, commencing work, or making any shop drawings. Any discrepancies must be reported to the Contract Administrator before proceeding.

DO NOT SCALE FROM THIS DRAWING

|     |                                       |          |          |
|-----|---------------------------------------|----------|----------|
| A   | Elevations mirrored due to re-siting. | DB       | 06-11-19 |
| Rev | Revision notes                        | Initials | Date     |

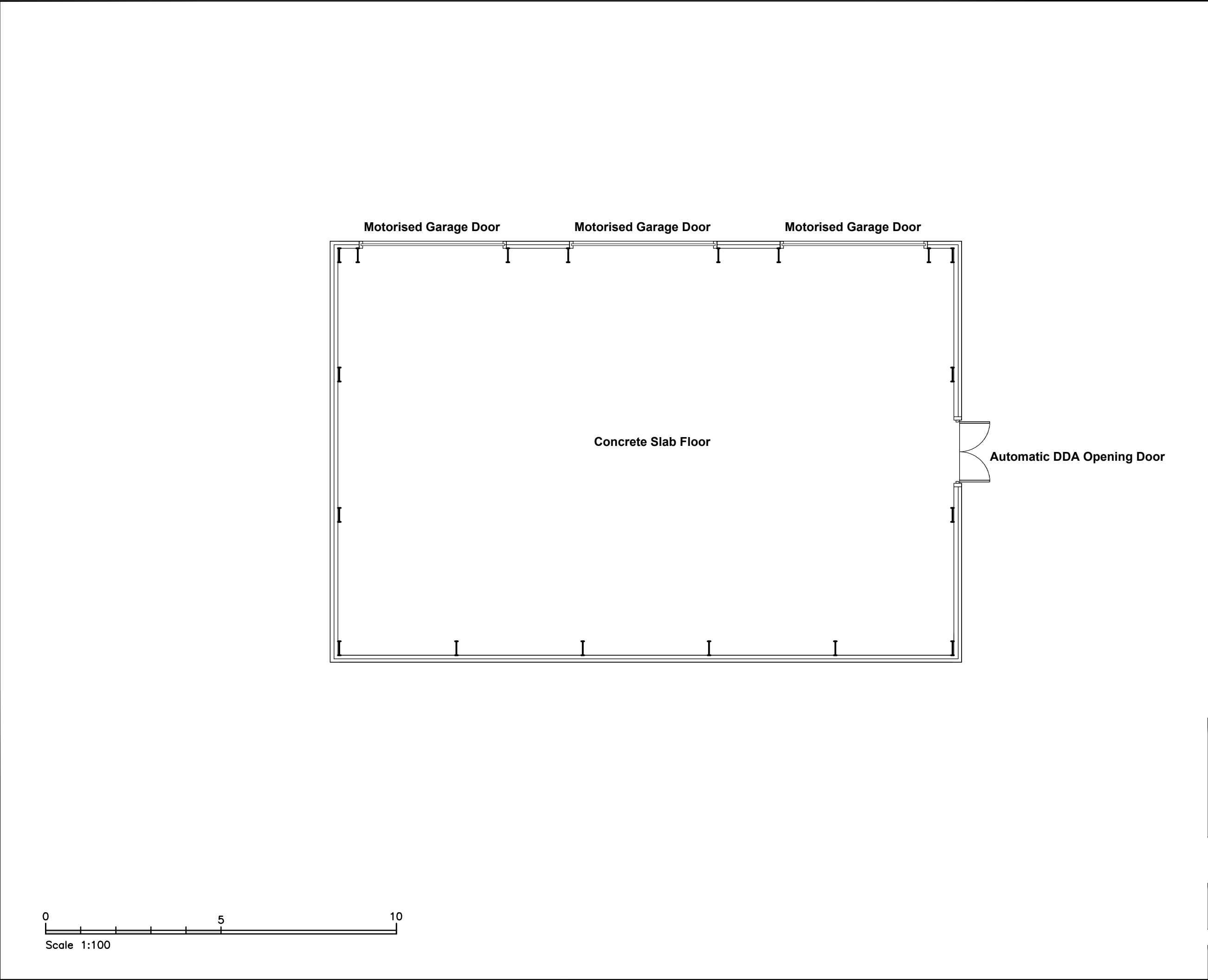


RESIDENTS SERVICES, CAPITAL PROGRAMME  
2E/10, CIVIC CENTRE, UXBRIDGE, UB8 1UW  
Tel: 01895 250 111  
Fax: 01895 277 224

PROJECT  
RURAL ACTIVITIES AND GARDEN CENTRE,  
WEST DRAYTON ROAD,  
UXBRIDGE, UB8 3LG.

DESCRIPTION  
PROPOSED CAFE SIDE ELEVATIONS

|                               |                |                    |                  |
|-------------------------------|----------------|--------------------|------------------|
| SCALE<br>1:100@A3             | DRAWN BY<br>DB | CHECKED BY<br>REV. | DATE<br>AUG 2019 |
| DRAWING No.<br>2019/D287/P/08 |                |                    | REV.<br>A        |



NOTES

The Contractor must verify all dimensions at the site before setting out, commencing work, or making any shop drawings. Any discrepancies must be reported to the Contract Administrator before proceeding.

DO NOT SCALE FROM THIS DRAWING

|     |                                                 |          |          |
|-----|-------------------------------------------------|----------|----------|
| A   | Plan mirrored along long axis due to re-siting. | DB       | 06-11-19 |
| Rev | Revision notes                                  | Initials | Date     |

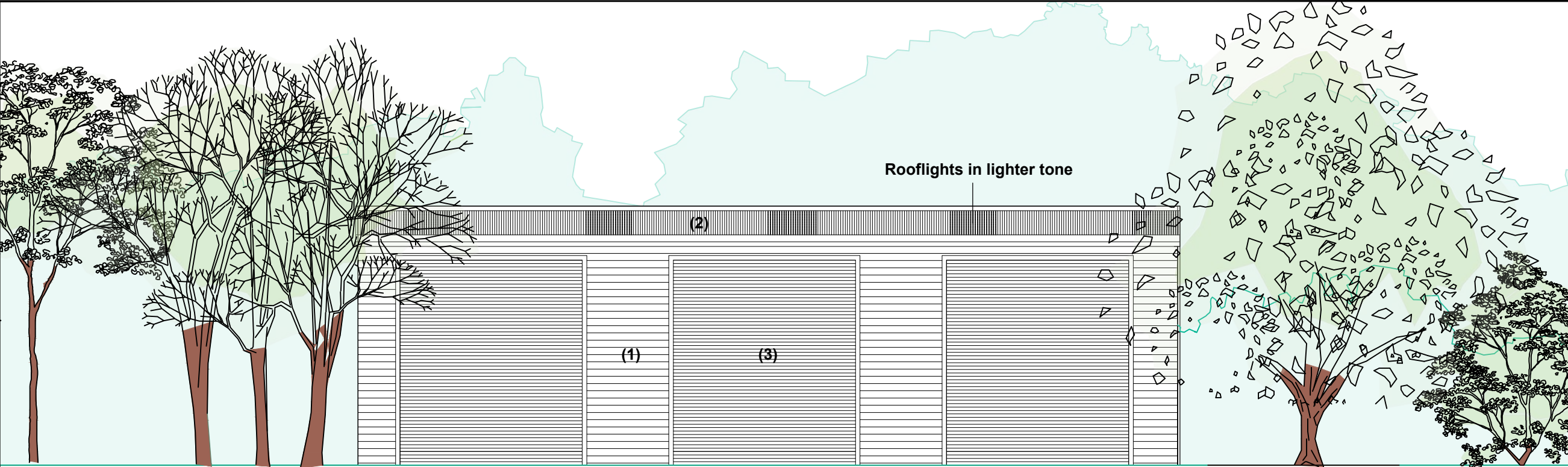


RESIDENTS SERVICES, CAPITAL PROGRAMME  
2E/10, CIVIC CENTRE, UXBRIDGE, UB8 1UW  
Tel: 01895 250 111  
Fax: 01895 277 224

PROJECT  
RURAL ACTIVITIES AND GARDEN CENTRE,  
WEST DRAYTON ROAD,  
UXBRIDGE, UB8 3LG.

DESCRIPTION  
PROPOSED BARN PLAN

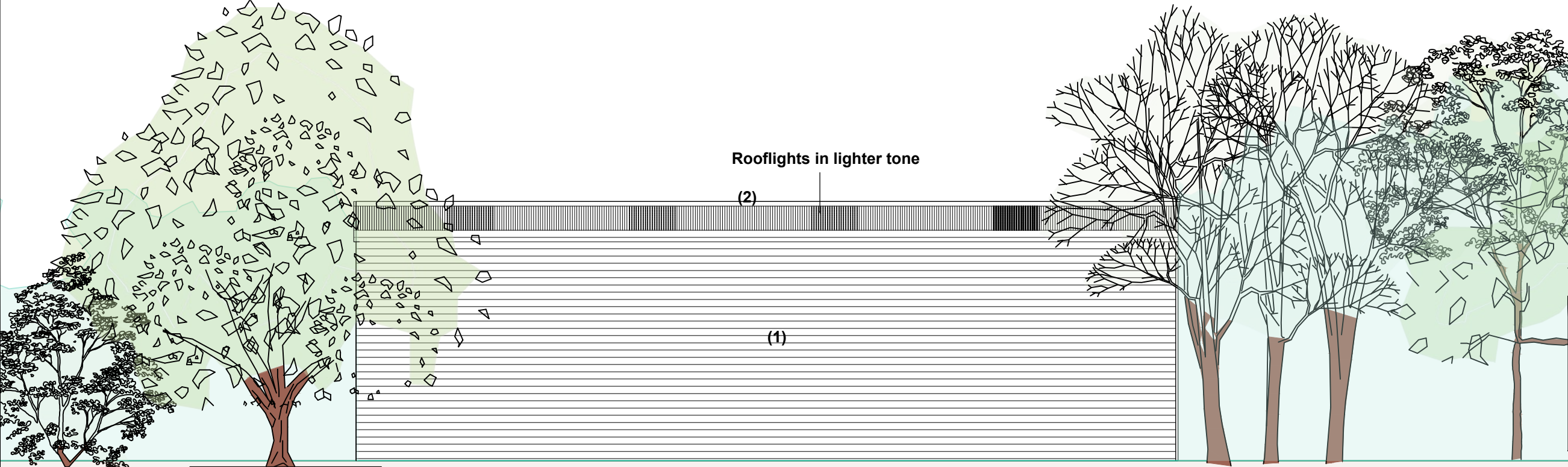
|                               |                |            |                  |
|-------------------------------|----------------|------------|------------------|
| SCALE<br>1:100@A3             | DRAWN BY<br>DB | CHECKED BY | DATE<br>AUG 2019 |
| DRAWING No.<br>2019/D287/P/09 |                |            | REV.<br>A        |



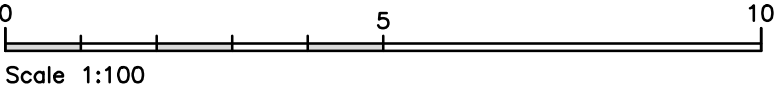
NORTH ELEVATION

**MATERIAL KEYS:**

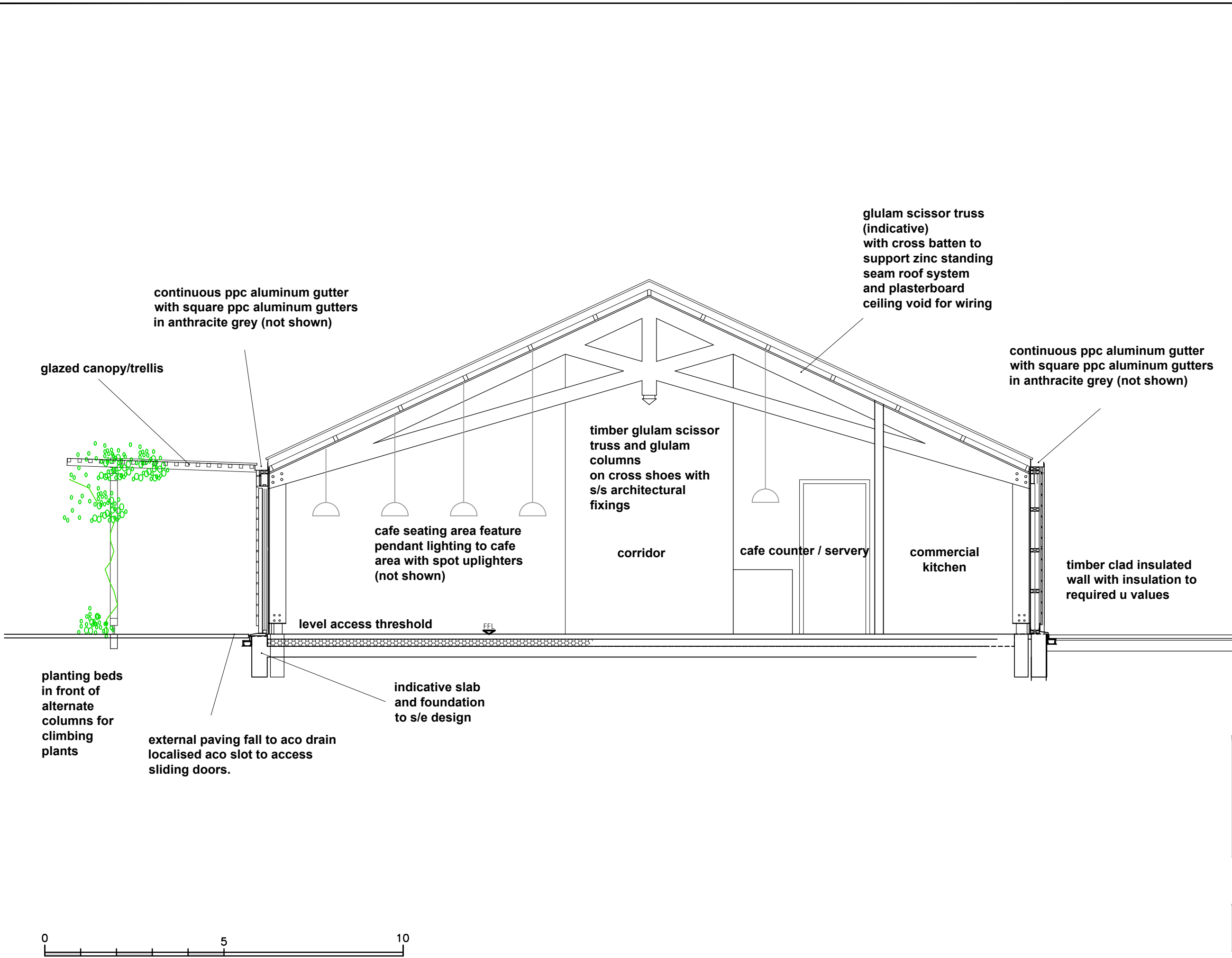
- (1) Black timber effect cladding with integrated non drip membrane to inner face.
- (2) Clear profiled sheet rooflight and black metal 0.7mm thick trapezoidal profiled sheet steel with integrated non drip membrane to inner face, with 7 x 1m wide roof lights as shown on roof plan.
- (3) Black 3 nos motorised garage doors.



SOUTH ELEVATION



| NOTES                                                                                                                                                                                                                |                                                     |            |                  |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------|------------|------------------|
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| DO NOT SCALE FROM THIS DRAWING                                                                                                                                                                                       |                                                     |            |                  |
| A                                                                                                                                                                                                                    | North and South Elevations swapped due to re-siting | DB         | 06-11-19         |
| Rev                                                                                                                                                                                                                  | Revision notes                                      | Initials   | Date             |
| <br>RESIDENTS SERVICES, CAPITAL PROGRAMME<br>2E/10, CIVIC CENTRE, UXBRIDGE, UB8 1UW<br>Tel: 01895 250 111<br>Fax: 01895 277 224 |                                                     |            |                  |
| PROJECT<br>RURAL ACTIVITIES AND GARDEN CENTRE,<br>WEST DRAYTON ROAD,<br>UXBRIDGE, UB8 3LG.                                                                                                                           |                                                     |            |                  |
| DESCRIPTION<br><br>PROPOSED BARN LONG ELEVATION                                                                                                                                                                      |                                                     |            |                  |
| SCALE<br>1:100@A3                                                                                                                                                                                                    | DRAWN BY<br>DB                                      | CHECKED BY | DATE<br>AUG 2019 |
| DRAWING No.<br>2019/D287/P/11                                                                                                                                                                                        |                                                     |            | REV.<br>A        |



NOTES

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DO NOT SCALE FROM THIS DRAWING

| Rev | Revision notes | Initials | Date |
|-----|----------------|----------|------|
|     |                |          |      |



RESIDENTS SERVICES, CAPITAL PROGRAMME  
2E/10, CIVIC CENTRE, UXBRIDGE, UB8 1UW  
Tel: 01895 250 111  
Fax: 01895 277 224

PROJECT  
RURAL ACTIVITIES AND GARDEN CENTRE,  
WEST DRAYTON ROAD,  
UXBRIDGE, UB8 3LG.

DESCRIPTION  
INDICATIVE SECTION OF PROPOSED CAFE  
AREA THROUGH SLIDING DOOR / CAFE BAR

|                   |                |            |                  |
|-------------------|----------------|------------|------------------|
| SCALE<br>1:100@A3 | DRAWN BY<br>DB | CHECKED BY | DATE<br>MAR 2020 |
| DRAWING No.       |                |            | REV.             |

2019/D287/T/15